



DEVELOPMENT VARIANCE PERMIT NO. DVP00491

**CHATTERJIT SINGH PARMAR AND SANTOSH KAUR PARMAR
PAYLESS BUILDING MAINTENANCE LTD.**

Owner(s) of Land (Permittee)

**202 AND 210 FOURTH STREET
Civic Addresses**

1. This development variance permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied by this permit.
2. This permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**THAT PART OF SECTION 29, RANGE 8, SECTION 1, NANAIMO DISTRICT,
PLAN 630 LYING EAST OF PARCEL A (DD 16373N) THEREOF, NORTH OF
PLAN 3217 AND TO THE SOUTH EAST OF HAREWOOD ROAD
PID NO. 008-751-463; and
PARCEL A (D.D. 16373N) SECTION 29, RANGE 8, SECTION 1, NANAIMO
DISTRICT, PLAN 630
PID NO. 000-912-051**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit, and any plans and specifications hereto shall form a part thereof.

**Schedule A Subject Property Map
Schedule B Proposed Site Plan**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit prevails over the provisions of the bylaw in the event of conflict.
6. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

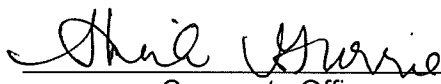
The "City of Nanaimo Off-Street Parking Bylaw 2018 No. 7266" is varied as follows:

1. *Section 7.2 Required Number of Off-Street Parking Spaces* – to reduce the combined minimum required number of off-street parking spaces for a restaurant use at 202 Fourth Street and a daycare use at 210 Fourth Street, where parking is shared between the two properties, from 33 spaces to 15 spaces.

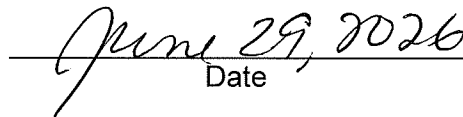
CONDITIONS OF PERMIT

1. The subject properties shall be developed substantially in compliance with the Site Plan, prepared by Kumar Architecture Ltd., dated 2026-MAY-06, including 4 non-standard (minimum 2.4m x 0.9m) short-term bicycle parking stalls and 2 standard short-term bicycle parking stalls, as shown in Schedule B.
2. Registration of a Section 219 covenant and easement to secure the shared off-site vehicle and bicycle parking on the lots legally described as THAT PART OF SECTION 29, RANGE 8, SECTION 1, NANAIMO DISTRICT, PLAN 630 LYING EAST OF PARCEL A (DD 16373N) THEREOF, NORTH OF PLAN 3217 AND TO THE SOUTH EAST OF HAREWOOD ROAD (202 Fourth Street) and PARCEL A (D.D. 16373N) SECTION 29, RANGE 8, SECTION 1, NANAIMO DISTRICT, PLAN 630 (210 Fourth Street) as shown in Schedule B, prior to final inspection under the Building Permit (BP131391).
3. The subject properties shall provide the following Transportation Demand Management measures, as recommended in the Parking & TDM Study, prepared by Watt Consulting Group, dated 2025-NOV-03:
 - A minimum of 2 long-term bicycle parking stalls shall be provided in a secure, weather-protected location for daycare staff;
 - At least one long-term bicycle parking spaces shall be designed for non-standard (minimum 2.4m x 0.9m) bicycles for the daycare staff;
 - All long-term bicycle parking spaces shall have access to an 120V wall outlet;
 - End-of-trip amenities shall be provided, including one private and lockable shower, and secure lockers for clothing and gear; and
 - The applicant shall enroll in BC Transit's ProPass Program for a minimum of three years to provide employees with discounted monthly transit passes and shall provide an additional 25% employer subsidy toward the remaining cost of each pass.
4. The applicant shall provide a proof of enrolment in BC Transit's ProPass Program.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 22ND DAY OF JUNE, 2026.

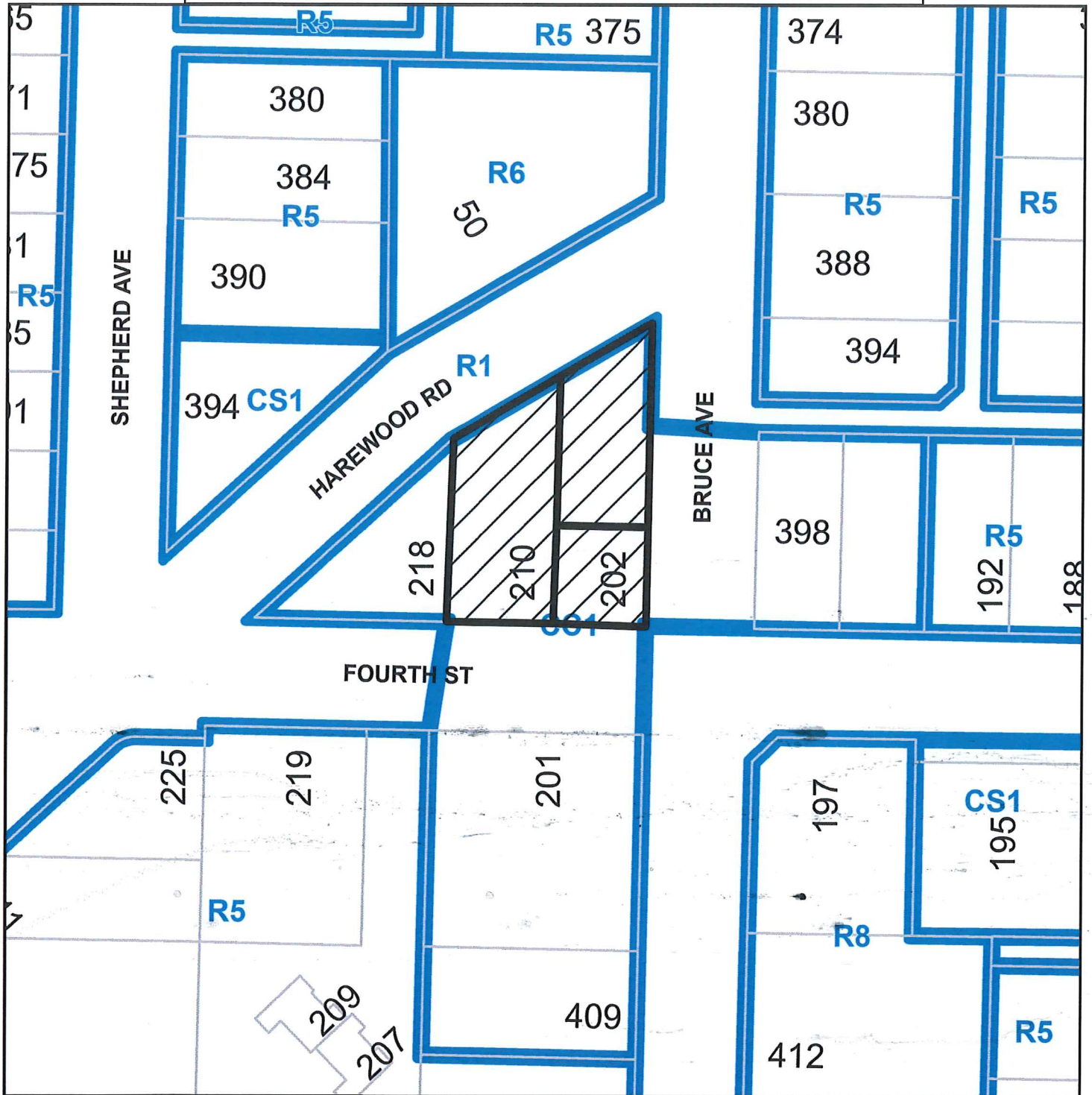


Sheila Currie
Corporate Officer
City of Nanaimo



Date

SUBJECT PROPERTY MAP

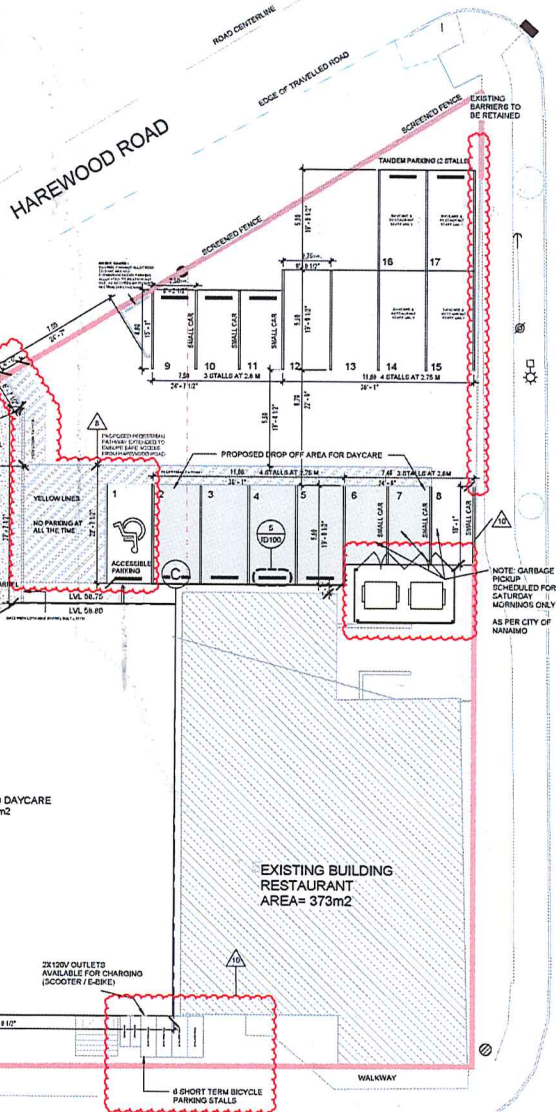


 202 & 210 FOURTH STREET

PROPOSED SITE PLAN



3 SITE AERIAL VIEW
SCALE: 1/2" = 1'-0"



SITE PLAN LEGEND:

PROPERTY LINE
ADJACENT PROPERTY LINE

BUILDING AND PARKING STATISTIC:

TOTAL BUILDING FOOTPRINT AREA = 419.6 m²

DAY CARE PARKING CALCULATION:

CHILD CARE FACILITY: 419.6 m² ÷ 200 sq. m = 2.1 STALLS

2.1 STALLS (As per Off Street parking regulation 7206, Nanaimo)

MINIMUM OF 6 BICYCLE PARKING STALLS PROVIDED (2 SHORT-TERM, 4 LONG-TERM) CONSISTENT WITH 7206 MEASURES.

Parking Compliance Note:

This plan demonstrates compliance with the City of Nanaimo Zoning Bylaw 2011 No. 4500 and the Off-Street Parking Bylaw 2018 No. 7206.

The daycare use at 210 Fourth Street requires 17 off-street parking spaces in accordance with Section 7.4 of Zoning Bylaw 4500 (2 stalls plus 1 per 10 m² gross floor area).

Off-street parking within 50 m is permitted under Part 2, Section 5.3 of Off-Street Parking Bylaw 7206, subject to a Section 219 Covenant in favour of the City of Nanaimo.

The following parcel at 202 Fourth Street (Sunland Lands), secured by Section 219 Covenant, is located between 202 and 210 Fourth.

1 loading space located directly on Bruce Avenue. At least 1 accessible stall is provided on the Sunland Lands, per Table 1, Off-Street Parking Bylaw 7206.

This plan relies upon registration of the required Section 219 Covenant securing 14 stalls on 202 Fourth Street prior to building permit occupancy, as a condition of approval.

4 PARKING DEMOLITION PLAN (Existing)
SCALE: 1/8" = 1'-0"

SITE STATISTIC

Project no. BC 0525

Dated: MARCH, 2025

THIS SITE PLAN HAS BEEN PREPARED FROM INFORMATION PROVIDED BY OTHERS. KUMAR ARCHITECTURE LTD. HAS NOT VERIFIED THE ACCURACY OF THE SITE INFORMATION, AND ASSUMES NO RESPONSIBILITY FOR THE SITE INFORMATION, OR THE LOCATION OF STRUCTURES ON THE SITE.

PROJECT NAME:

DAYCARE ON 4TH STREET (NANAIMO)

Municipal Address:

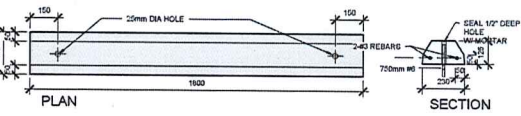
210 Fourth St, Nanaimo, BC V9R 1T2

Legal Address:

PARCEL A (E0 14373N), SECTION 29, RANGE 8, SECTION 1, NANAIMO DISTRICT, PLAN 630

Zone:

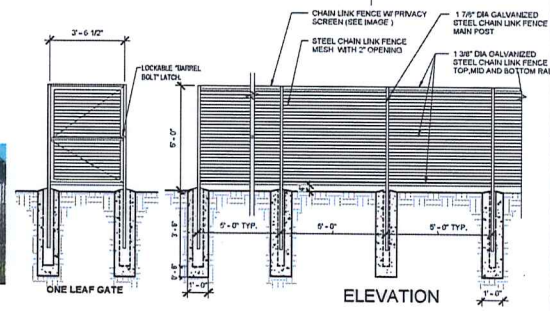
CC1



5 TYPICAL PRECAST CONCRETE WHEEL STOP
SCALE: 1" = 1'-0"



2 SCREENED CHAIN LINK FENCE DETAILS
SCALE: 3/8" = 1'-0"



ELEVATION



Rev	Issued	Revision (Drawing Issue)	Drawn By
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

CONSULTANT

SEAL

PERMIT STAMP
RECEIVED
DVP491
2026-MAY-07
Current Planning

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PROJECT
DAYCARE ON FOURTH STREET (NANAIMO)

210 FOURTH ST, NANAIMO, BC V9R 1T2

DRAWING TITLE
SITE PLAN

Project number
BC0525

Date
JUNE 20, 2025

Scale
As indicated

Drawn by
DG

Checked by
RK

REVISION

ID100 10